



ENFIELD – TOWN CENTRE PARKING, Dublin Road, Enfield, Co. Meath

Our Ref: 4456

DESIGNER'S SAFETY AND HEALTH PLAN

Rev.A

Date: 14/09/2023



comhairle chontae na mí meath county council

DCE IRL

Second Floor, Avenue Road Centre, Avenue Road, Dundalk, Co. Louth Ireland

> (t) 00 353 42 935 1600 (e) info@dce.ie

Table of Contents

1.	Intro	oduction1
2.	ure of the project1	
2	.1	Project team1
2	.2	Location / Existing Site
2	.3	Project Description2
2	.4	Existing Safety File2
2	.5	Notification to HSA2
2	.6	Location/Layout of works
2	.7	Location of services to facilitate Welfare Facilities
3. Project Particulars		
4.	Proj	ect Timescale4
4	.1	Estimated project completion time4
4	.2	Restrictions on working hours
4	.3	Site Access
4	.4	Other Work Activities4
5.	Wor	rk involving particular risks4
5.1 Non-scheduled risks		
5	.2 Ris	ks Associated with Exposure to Covid -196
6.	Add	itional information6
7.	Con	tinuing Liaison6
APPENDIX – SITE LAYOUT PLAN		



1. Introduction

This Designer's Health and Safety Plan ("the Plan") has been prepared for the park and ride facility at Main Street, Dublin Road, Enfield, Co. Meath. It has been prepared by DCE IRL in accordance with the Safety, Health and Welfare at Work (Construction) Regulations 2013. It has been prepared for inclusion with the Part 8 application.

2. Nature of the project

2.1 Project team

Client: Meath County Council Address: Buvinda House, Dublin Road, Navan, Co. Meath C15 Y291 Contact: Thomas Lynch E-mail: thomas.lynch@meathcoco.ie Phone: 085 870 6489

PSDP: DCE IRL Address: Second Floor, Avenue Road Centre, Avenue Road, Dundalk, Co. Louth A91 FT92 Contact: Thomas McGuinness E-mail: tommy@dce.ie Phone: 042 935 1600 / 086 629 3684

Designer: DCE IRL Address: Second Floor, Avenue Road Centre, Avenue Road, Dundalk, Co. Louth A91 FT92 Contact: Gary J. Barron E-mail:gary@dce.ie Phone: 042 935 1600 / 086 224 0345

2.2 Location / Existing Site

The works are located at Main Street, Dublin Road, Enfield, Co. Meath. Under planning reference no. TA200477, the site has been developed recently and occupied by a temporary school. A temporary post-primary school consisting of 6no prefabricated buildings including all utility services and associated site works were constructed on site in 2021. The existing building on site and the existing restricted area with a mast were maintained with no changes. The existing building on site was utilised by the ESB in the past with significant carparking associated with it. The access that currently exists on site was utilised by the ESB associated with the day to day activity of the building. This access has subsequently been utilised by the temporary school which was operation on site from 2021, the temporary school is not operational on site at presently, it has been relocated to the schools new building. There are currently bottle banks on site.



2.3 **Project Description**

When the current temporary buildings are decanted, it is proposed to redevelop the site into a new town centre car park for drivers and cyclists. A total of 107 carparking spaces are to be provided, including 6 accessible bays, one of which will be for an electric vehicle (EV), 7 EV spaces, 30 bicycle stands, 5 e-bicycle charging points, 8 crane-lift recycling bins and pedestrian footpath from main street.

The new town centre car park will provide the following:

- Town centre car parking for access to local businesses.
- Parking for the Play Ground (the existing entrance to the playground will be closed and a new main one from the development will be provided).
- Re-located parking for the Enfield Community Hub.
- Parking for access to public transport links.
- Car changing facilities.
- Bicycle parking.
- Electric bicycle charging facilities.
- Safer recycling facilities.
- Outdoor public plaza (approx. 1200m²) to the front and rear of the Enfield Community Hub.
- CCTV to cover the extent of the development only (not outward looking) and to be mounted on their own poles.
- New recycling bottle banks location for safety and accessibility reasons.

The prefabricated buildings will be dismantled and all utility services associated with them to be grubbed up, demolished or abandoned. The proposed development will comprise the construction a car park with a provision for cyclists, a bring centre, an access road with entrance, turning areas, open spaces / public realm areas, surface water drainage network, public lighting and all associated site development works. The existing building and the existing restricted area with mast will be maintained and integrated into the new site layout.

The existing Access onto Main Street is to be maintained by the proposed development with sightlines enhancements as detailed on the accompanying drawings.

The boundary wall to SuperValu is to be modified to so that the development will be overlooked and provide a level of passive supervision. This boundary wall is to be lowered with railings being incorporated into the existing wall.

2.4 Existing Safety File

None available.

2.5 Notification to HSA

This project WILL take more than 30 days or 500-man hours to construct and hence it WILL be necessary for the PSCS to issue a notice of commencement to the HSA.



2.6 Location/Layout of works Refer to Drawing No. C02

2.7 Location of services to facilitate Welfare Facilities See attached Site Layout showing all facilities and their location in relation to the work area.

3. **Project Particulars**

The works shall primarily consist of the following:

Demolition Works:

- > CBR Test to be carried out by specialist site investigation company
- Removal of soft & hard surfaces and disposal of off site
- > Existing gullies to be removed and disposed of off site
- Existing fence and Blockwall to be demolished

Construction Works:

- Existing ESB substation to be relocated
- Installation of underground ducting
- Installation of public lighting sockets
- Construction of new footpaths & roadway
- Installation of precast Beany Block kerbs
- Construction of new raised pedestrian crossings
- Construction of new car parking spaces
- Installation of drainage
- Installation of 15 no. frame-supporting stands for 30 no. bicycles
- Installation of 5 no. E-bike charging points
- Construction of new pier and railings
- Installation of new gate to playground
- Provision of road markings and signage

Miscellaneous Works:

- The works will/may involve working adjacent to and around existing services including: ESB & Eircom cables.
- > Associated accommodation works.

Note: The contractor is to protect and make good any damage at completion to existing features to be retaining, public areas etc. The contractor shall protect and maintain all existing services; take all necessary precautions working at or near them and make good any damage on completion.



4. Project Timescale

4.1 Estimated project completion time

The PSDP has estimated the works will take approx. 20 WEEKS to complete.

4.2 **Restrictions on working hours.**

Normal working hours apply - 08.00 – 17.00 hrs Monday to Friday unless otherwise agreed with Thomas Lynch in Meath County Council.

- 4.3 Site Access Refer to Site Layout Drawing.
- 4.4 Other Work Activities N/A.

5. Work involving particular risks

a. Work which puts persons at risk of burial under earth-falls, engulfment in swampland or falling from a height, where the risk is particularly aggravated by the nature of the work or processes used or by the environment at the place of work.
 Burial due to: deep excavations in trenches for services and associated chambers and connections, possible soil stockpile instability due to stockpiling at an unstable depth or along an existing slope.

Engulfment: in peat or other weak material which could lose strength due to traffic or vibration, in stockpiles of weak material.

Falling: into excavations, over the edge of an embankment.

- Risk of fall into drainage excavations
- Work which puts persons at work at risk from chemical of biological substances constituting a particular danger to the safety and health of such persons or involving a statutory requirement for health monitoring.
 Preparation and use of bituminous and concrete materials may have safety and health

implications. Inhalation of dust during excavation, drilling or cutting of materials.

A historic Hydrocarbon leak occurred to the West of the site. Prior to construction on site ground investigations is to be undertaken to ensure there is no Hydrocarbons on the proposed site.

Work with ionising radiation requiring designation of controlled or supervised areas as defined in Directive 96/29/Euratom.
 None evident at Design Process.



- Work near high voltage power lines.
 Overhead and underground ESB services.
 Work will be carried out under Low Voltage ESB overhead lines. Refer to Code of Practice for Networks Avoiding Danger from Overhead Electricity Lines.
- *e.* Work exposing persons at work to the risk of drowning.

Danger of persons falling into open excavations containing water and existing waterways.

- *f.* Work on wells, underground earthworks and tunnels. Drainage works.
- *g.* Work carried out by divers at work having a system of air supply. None evident at Design Process.
- *h.* Work carried out in a caisson with a compressed air atmosphere. None evident at Design Process.
- *i.* Work involving the use of explosives. None evident at Design Process. Blasting is not permitted on the contract.
- *j.* Work involving the assembly or dismantling of heavy prefabricated components.

Work on concrete manholes and drainage, various diameter precast concrete elements, formwork and shuttering, demolition of structures.

Where a particular risk is identified and cannot be designed out an accompanying control measure should be shown. Note the contractor does not have to follow this if an alternative safe method exists.

5.1 Non-scheduled risks.

- Works adjacent to live carriageways. Special care should be exercised for traffic management where traffic flows must be maintained.
- Work will be carried out under low voltage ESB overhead lines. Refer to Code of Practice for Networks Avoiding Danger from Overhead Electricity Lines.
- Control of noise and vibrations
- Careful excavation in the vicinity of existing services with live services including ESB, Eircom, Water and Gas.
- Cutting, breaking and drilling concrete or bituminous bound materials by hand.



- Ground personnel on site in the presence of swinging excavators and other moving construction vehicles.
- Manual handling
- Pedestrian control.
- Adverse weather conditions.
- Overhanging trees.

5.2 Risks Associated with Exposure to Covid -19.

Due to the ongoing Covid-19 Pandemic measures are required to ensure adequate social distancing and hygiene on site. Please refer to the CIF Construction Sector C-19 Pandemic Standard Operating Procedures (SOPs) and updated HSE advice and guidelines. These guidelines and SOPs will need to be reviewed weekly by the main contractor. Any revised guidelines are to be implemented immediately. Public health measures and controls should be communicated to all relevant personnel on site.

6. Additional information

N/A.

7. Continuing Liaison

Where unforeseen circumstances arise, the safety and health issues arising must be submitted to the Project Supervisor (Design Process) as soon as possible after the event.

Where unforeseen circumstances cause significant design changes the safety and health implications arising are to be submitted to the Project Supervisor (Design Process). Changes in design can only be implemented by the written approval of the Project Supervisor (Design Process) prior to commencement of any works affected by the change in design. The following records will be compiled by the Project Supervisor (Construction Stage) in consultation with the Safety Co-ordinator and other Contractors working on site.

- Projects History
- Design Data
- As-Built Drawings



- Risk Assessment
- COSHH Register
- Emergency Procedures
- Operations and Maintenance Manuals
- Electrical Safety Certificates
- Mechanical Completion Certificates
- Lifting Equipment Test Certificates
- Welfare provisions
- Other Factors
- Testing Calendar
- Formal reporting system for unforeseen eventualities
- Formal procedure system for emergencies
- Construction sequence and methods
- Materials used and specifications
- Maintenance requirements

Health and Safety issues arising during the course of construction from design changes, control measures, unsafe practices, incidents and accidents, amendments to the Safety and Health Plan and information for the Safety and Health File will be examined at regular monthly site meetings.

Any significant alteration to the scope of the works, for whatever reason, must be vetted by the Project Supervisor (Design Process). Any hazard discovered but not removed during the construction period must be recorded and a copy of the records sent to the Project Supervisor (Design Process) as soon as possible and in any case before Practical Completion.

This information contained in this preliminary Safety & Health Plan has been prepared prior to the commencement of work on site. It does not take account of any matters or information which may come to light after time.

Signed on Behalf of DCE IRL (Project Supervisor Design Process)



Thomas Mc Guings -

_ Tel +353 42 935 1600, Mobile +353 86 629 3684 Email tommy@dce.ie **B.Eng (Hons) C.Eng M.I.E.I. Chartered Engineer**

Thomas McGuinness For DCE IRL



APPENDIX – SITE LAYOUT PLAN

